

ALL DESIGN IDEAS AND ARRANGEMENTS AS INDICATED ON THESE DRAWINGS ARE LEGAL PROPERTY OF RESIDENTIAL DESIGN STUDIO, INC. & DEBBIE WAGAMAN ARCHITECT, A.P.C. AND THE SPECIFIC PROJECT FOR WHICH THEY WERE PREPARED AS INDICATED ON THE PROJECT TITLE BLOCK. REPRODUCTION, PUBLICATION OR RE-USE BY ANY METHOD, IN WHOLE OR PART, WITHOUT THE EXPRESS WRITTEN CONSENT OF RES. INC. & DEBBIE WAGAMAN ARCHITECT, A.P.C. IS PROHIBITED. THERE SHALL BE NO CHANGES, SUBSTITUTIONS, MODIFICATIONS OR DEVIATIONS FROM THESE DRAWINGS OR ACCOMPANYING SPECIFICATIONS WITHOUT THE CONSENT OF RES. INC. & DEBBIE WAGAMAN ARCHITECT, A.P.C. VISUAL, PHYSICAL, OR ELECTRONIC CONTACT OR USE OF THESE DRAWINGS AND ATTACHED SPECIFICATIONS SHALL CONSTITUTE THE ACCEPTANCE OF ALL THESE RESTRICTIONS. THE SIGNED AND STAMPED HARD COPIES WITH THE SIGNATURE OF THE ARCHITECT OF RECORD ARE THE ARCHITECT'S INSTRUMENT OF SERVICE AND ARE THE ONLY TRUE CONTRACT DOCUMENTS OF RECORD.

**GOLD RESIDENCE**  
 16580 LAS CUESTAS  
 RANCHO SANTA FE, CA 92067

PROJECT

PRD-BUILDING DIVISION  
 JUL 28 2021  
 County of San Diego  
 Plan Check

OWNER  
 MR. ALEX GOLD  
 16580 LAS CUESTAS  
 RANCHO SANTA FE, CA 92067

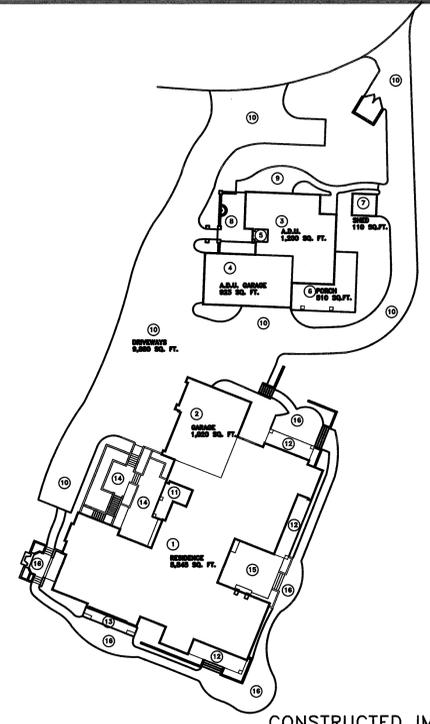
NO.	DATE	REVISION COMMENTS
4-25-19	RSF	SUBMITTAL
7-3-19	RSF	RE-SUBMITTAL
9-5-19	RSF	REVISION
1-28-20	RSF	REVISION
9-20-20	COUNTY	SUBMITTAL
9-20-20	RSF	RE-SUBMITTAL

DRAWN BY PROJECT NO.  
 CHECKED BY DATE  
 28-Jan-20  
 DRAWING NO.  
**A-1.2**  
 DRAWING TITLE  
**BMP PLAN**

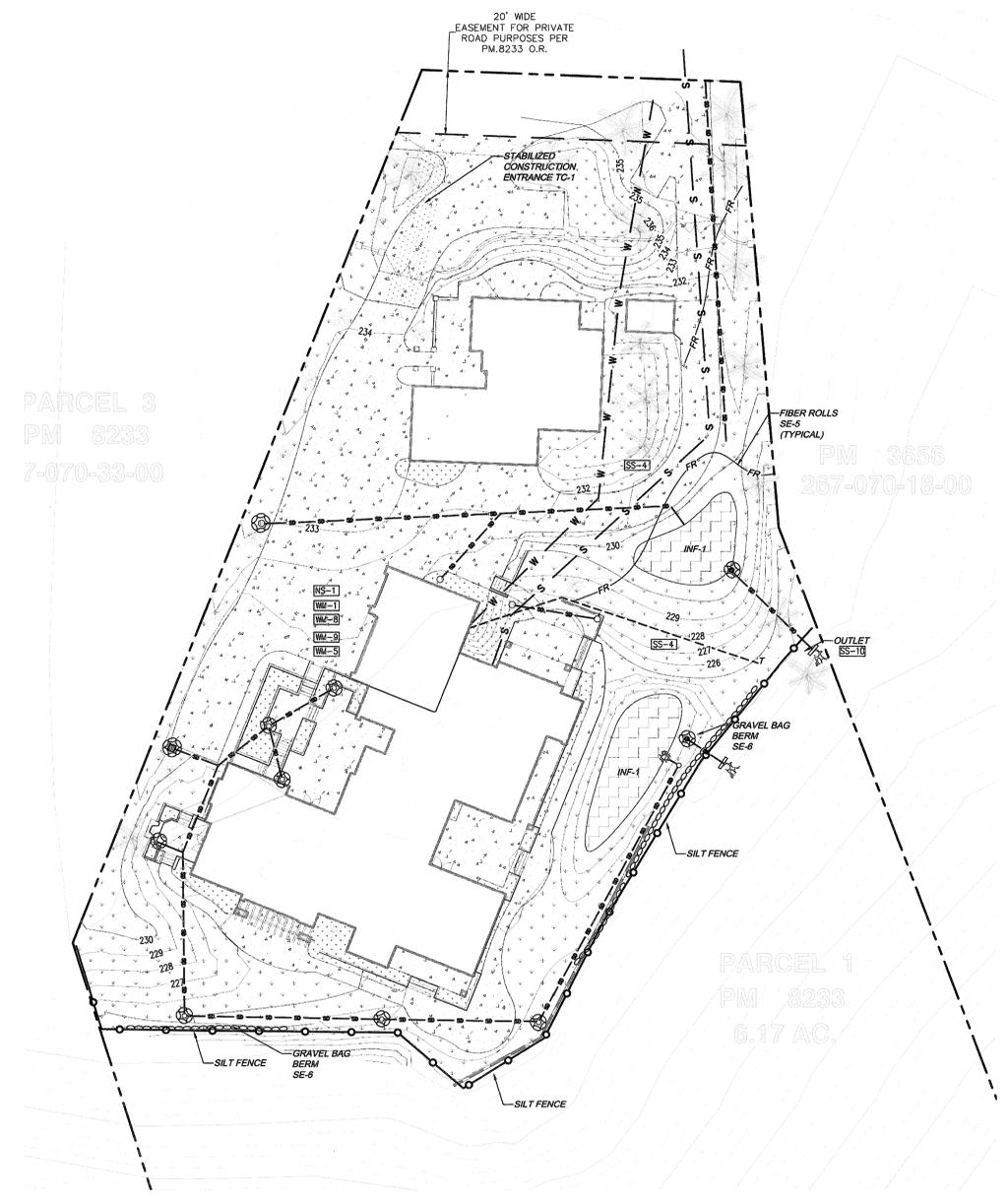
### CONSTRUCTED IMPERVIOUS AREA TABLE

SITE I.D.	IMPERVIOUS ITEM	DIMENSION	NEW OR REPLACED AREA S.F.	EXISTING AREA S.F.	EXISTING AREA S.F. REMOVED
1	MAIN HOUSE	PER PLANS	5,845 S.F.		
2	GARAGE		1,080 S.F.		
3	ADDITIONAL DWELLING UNIT		1,200 S.F.		
4	ADU GARAGE		923 S.F.		
5	ADU ENTRY PORCH		34 S.F.		
6	ADU PORCH		510 S.F.		
7	GARDEN SHED		110 S.F.		
8	COURT YARD		269 S.F.		
9	ADU WALKWAYS		469 S.F.		
10	DRIVEWAYS (INCL. TRASH)		9,561 S.F.		
11	ENTRY PORCH		161 S.F.		
12	COVERED PORCHES		362 S.F.		
13	TRELLIS PATIO		148 S.F.		
14	ENTRY COURTYARD & STEPS		636 S.F.		
15	REAR COURTYARD		472 S.F.		
16	WALKWAYS & PATIOS		2135 S.F.		
TOTAL =			23,951 S.F.	0 S.F.	0 S.F.

1. 23,951 / 268,765 S.F. = 8.91%  
 2. AREAS CALCULATED WITH AUTOCAD AS THE ACCEPTED METHOD.

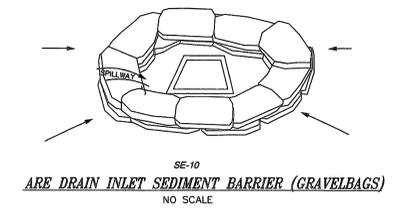
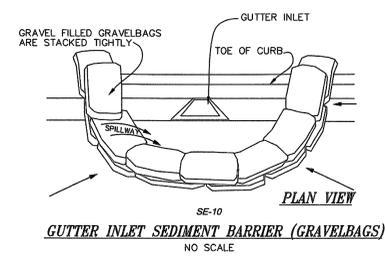


CONSTRUCTED IMPERVIOUS AREA PLAN



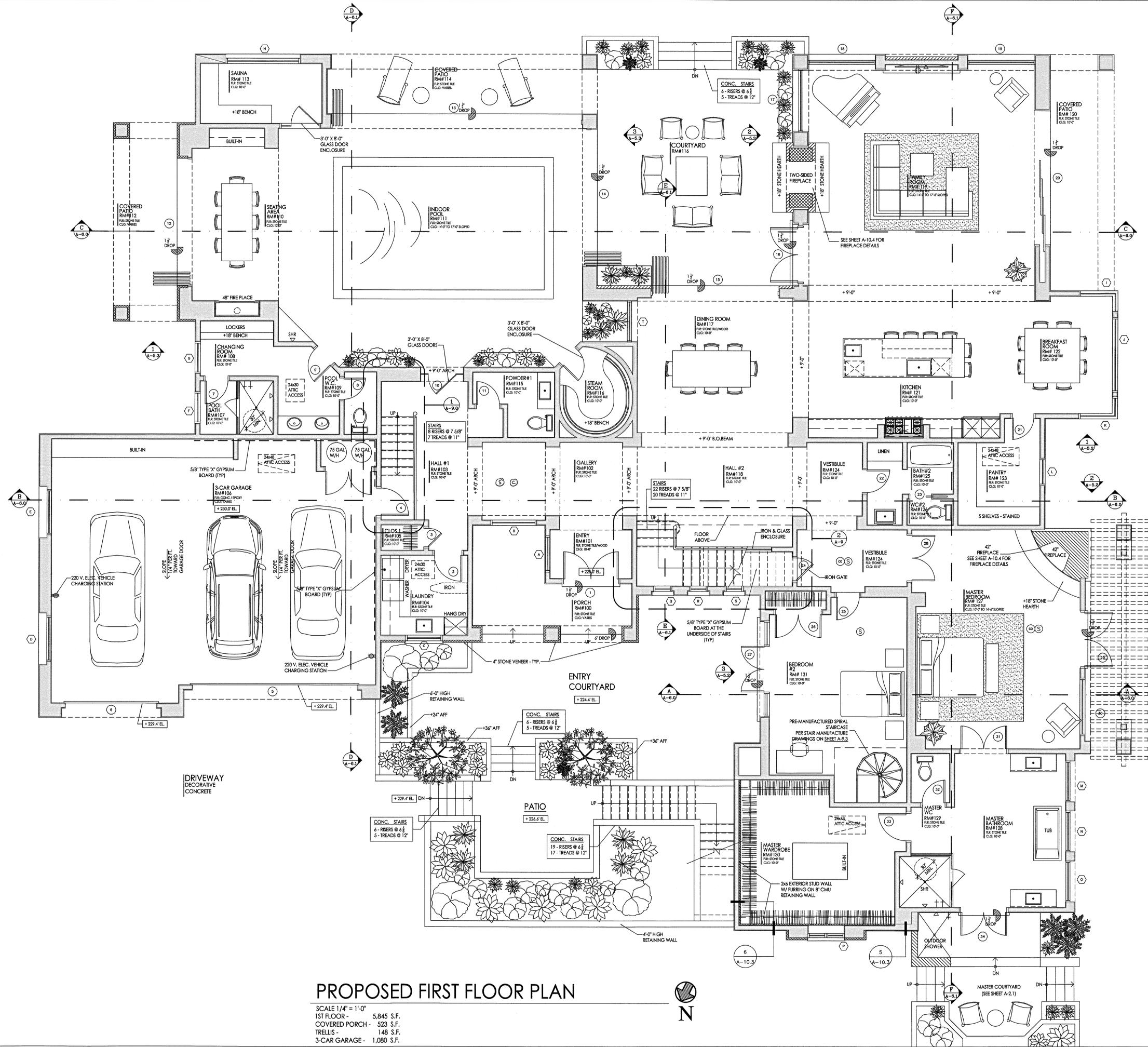
**CONSTRUCTION BMP LEGEND**

ITEM	CASQA #	SYMBOL	QUANTITIES
SILT FENCE	SE-1	[Symbol]	
GRAVEL BAGS	SE-6	[Symbol]	184
INLET / OUTLET SILT DAM	SE-8	[Symbol]	11
STABILIZED CONSTRUCTION ENTRANCE	TC-1	[Symbol]	
DRAINAGE DIRECTION		[Symbol]	
RIP-RAP	EC-10	[Symbol]	
FIBER ROLLS	SE-5	FR	
SLOPE STABILIZATION (HYDROSEEDING)	SS-4	[Symbol]	
MULCH, STRAW, WOOD APPLICATION	SS-6	[Symbol]	
ENERGY DISSIPATION, OUTLET PROTECTION	SS-10	[Symbol]	
WATER CONSERVATION	NS-1	[Symbol]	
MATERIAL DELIVERY & STORAGE:			
CONCRETE WASTE MANAGEMENT:	WM-8	[Symbol]	
SANITARY WASTE MANAGEMENT:	WM-9	[Symbol]	
SOLID WASTE MANAGEMENT:	WM-5	[Symbol]	
HAZARDOUS WASTE MANAGEMENT:	WM-6	[Symbol]	



**BMP EROSION CONTROL PLAN**  
 SCALE 1" = 20'-0" SEE PAGES 5-6 GRADING PLAN

RSFPFD - FIRE  
 REV 28 2022  
 CL



# PROPOSED FIRST FLOOR PLAN

SCALE 1/4" = 1'-0"  
 1ST FLOOR - 5,845 S.F.  
 COVERED PORCH - 523 S.F.  
 TRELLIS - 148 S.F.  
 3-CAR GARAGE - 1,080 S.F.



## FLOOR PLAN NOTES

- ALL DIMENSIONS SHALL BE FIELD VERIFIED. ANY DISCREPANCIES AFFECTING PROJECT LAYOUT SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND THE ISSUES RESOLVED PRIOR TO PROCEEDING WITH THE WORK IN QUESTION.
- REFER TO SITE PLAN FOR SITE AND UTILITY INFORMATION. EXTERIOR WALL DIMENSIONS TO FACE OF STUDY/OTN WALL. INTERIOR WALL DIMENSIONS TO CENTER LINE OF STUD.
- INSULATION: R-19 BATT INSULATION AT ALL NEW EXTERIOR 2X6 WALLS; R-15 BATT INSULATION AT ALL NEW EXTERIOR 2X4 WALLS.
- R-30 BATT INSULATION AT CEILING & ROOF AREAS.
- R-4.5 INSULATION WRAP ON ALL NEW HOT WATER PIPING.
- R-4.5 INSULATION WRAP ON ALL NEW SUPPLY DUCTS.
- SMOKE DETECTORS: SHALL BE INSTALLED IN EACH BEDROOM AND ON ACCESS POINT TO EACH SLEEPING AREA AND ON EACH STORY AND BASEMENTS. DETECTOR SHALL HAVE AN ALARM AUDIBLE IN ALL SLEEPING AREAS OF THE UNIT. SECTION 310.9.1.2. UNIT SHALL BE PERMANENTLY WIRED AND EQUIPPED WITH BATTERY BACKUP. C.B.C. SEC. 310.9.1.3.
- PROVIDE 5 AIR CHANGES PER HOUR FOR BATHROOM AND LAUNDRY ROOM VENTILATION.
- ALL ABS AND PVC PIPING AND FITTINGS SHALL BE ENCLOSED WITHIN WALLS AND FLOORS COVERED WITH TYPE X GYPSUM BOARD OR SIMILAR ASSEMBLIES THAT PROVIDE THE SAME LEVEL OF FIRE PROTECTION. PROTECTION OF MEMBRANE PENETRATIONS IS NOT REQUIRED.
- SHOWER COMPARTMENT AND BATHTUBS WITH INSTALLED SHOWER HEADS SHALL BE FINISHED WITH A NON-ABSORBENT SURFACE THAT EXTENDS TO A HEIGHT NOT LESS THAN 6 FEET ABOVE FLOOR. CRC R307.2 COMBUSTION AIR FOR FUEL BURNING WATER HEATERS WILL BE PROVIDED IN ACCORDANCE WITH THE PLUMBING CODE.
- THE CONTROL VALVES IN SHOWERS, TUB / SHOWERS, BATHTUBS, AND BIDETS MUST BE PRESSURE BALANCED OR THERMOSTATIC MIXING VALVES. CPC SECTIONS 408, 409, 410.
- WATER CONSERVING FIXTURES: NEW WATER CLOSETS SHALL USE NO MORE THAN 1.28 GALLONS OF WATER PER FLUSH, KITCHEN FAUCETS MAY NOT EXCEED 1.8 GPM, LAVATORIES ARE LIMITED TO 1.2 GPM AND SHOWERHEADS MAY NOT EXCEED 2.0 GPM OF FLOW. CPC SECTIONS 407, 408, 411, 412.
- WHEN A SHOWER HEAD IS PROVIDED WITH MULTIPLE SHOWER HEADS, THE SUM OF FLOW TO ALL HEADS SHALL NOT EXCEED 2.0 GPM @ 80 PSI, OR THE SHOWER SHALL BE DESIGNED SO THAT ONLY ONE HEAD IS ON AT A TIME. PRIOR TO FINAL INSPECTION, THE LICENSED CONTRACTOR, ARCHITECT OR ENGINEER IN RESPONSIBLE CHARGE OF THE OVERALL CONSTRUCTION MUST PROVIDE TO THE BUILDING DEPARTMENT OFFICIAL WRITTEN VERIFICATION THAT ALL APPLICABLE PROVISIONS FORM THE GREEN BUILDING STANDARDS CODE HAVE BEEN IMPLEMENTED AS PART OF THE CONSTRUCTION. CGC 102.3.
- ALL CHIMNEYS ATTACHED TO ANY APPLIANCE OR FIREPLACE THAT BURNS SOLID FUEL SHALL BE EQUIPPED WITH AN APPROVED SPARK ARRESTOR PER CBC SECTION 2802.

## FLOOR PLAN LEGEND

- (1) NEW DOORS AND DOOR SYMBOL. SEE SCHEDULE
- (A) NEW WINDOW AND WINDOW SYMBOL. SEE SCHEDULE
- (S) SMOKE DETECTOR
- (M) CARBON MONOXIDE ALARM

## SMOKE & CARBON MONOXIDE NOTES

- SMOKE DETECTOR NOTES:**
- BATTERY POWERED SMOKE ALARMS SHALL BE INSTALLED IN ACCORDANCE WITH CRC SECTIONS R314 & R315
  - SYMBOL INDICATES CEILING MOUNTED SMOKE DETECTOR.
  - DETECTORS TO BE LOCATED ON THE CEILING OR WALL OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF BEDROOMS AND IN EACH ROOM USED FOR SLEEPING PURPOSES.
  - DETECTORS SHALL BE LOCATED IN EACH STORY WITHIN A DWELLING UNIT, INCLUDING BASEMENTS AND HABITABLE ATTICS.
  - SMOKE DETECTORS MUST BE INTERCONNECTED PER CRC R314.4 AND HARD-WIRED WITH BATTERY BACK-UP PER CRC R314.6
  - INSTALLATION OF SMOKE DETECTORS WILL COMPLY WITH CBC SEC. 907.2.10.1.2
  - SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING. WHERE MORE THAN ONE SMOKE ALARM IS INSTALLED THE ALARM SHALL BE INTERCONNECTED THAT THE ACTIVATION OF ONE ALARM SHALL ACTIVATE ALL THE ALARMS IN THE INDIVIDUAL UNIT.
  - SMOKE ALARMS ARE PERMITTED TO BE SOLELY BATTERY OPERATED IN EXISTING BUILDINGS WHERE NO CONSTRUCTION IS TAKING PLACE.
  - SMOKE ALARMS SHALL BE REPLACED WHEN THEY FAIL TO RESPOND TO OPERABILITY TESTS BUT SHALL NOT REMAIN IN SERVICE LONGER THAN 10 YEARS FROM THE DATE OF MANUFACTURE. NFPA 72 SEC 14.4.7.1
- CARBON MONOXIDE ALARM NOTES:**
- CARBON MONOXIDE ALARMS SHALL BE INSTALLED IN ACCORDANCE WITH CRC SECTIONS R314 & R315
  - INTERCONNECTED PER CRC R315.1.7 AND HARD-WIRED WITH BATTERY BACK-UP PER CRC R315.5
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  - OUTSIDE OF EACH SLEEPING SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM(S) AND ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS.
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## WALL LEGEND

- [Pattern] New 2 x 4 Interior wall - 5/8" Gyp, each side
- [Pattern] New 2 x 4 (flat stud) Interior wall - 5/8" Gyp, one side
- [Pattern] New 2 x 6 Interior wall - 5/8" Gyp, each side
- [Pattern] New 2 x 4 Interior wall - Pocket door wall - 5/8" Gyp, each side
- [Pattern] New 2 x 4 Exterior wall - 5/8" Gyp, stud, sheathing, stucco
- [Pattern] New 2 x 6 Exterior wall - 5/8" Gyp, stud, sheathing, stucco
- [Pattern] New 2 x 6 Exterior wall w/ stone veneer - 5/8" Gyp, stud, sheathing, 4" stone veneer
- [Pattern] New 8" Masonry Wall - stucco, masonry, stucco

**RESIDENTIAL DESIGN STUDIO**  
 16580 WEST BERNARDO DRIVE, SUITE 290  
 SAN DIEGO, CA 92127

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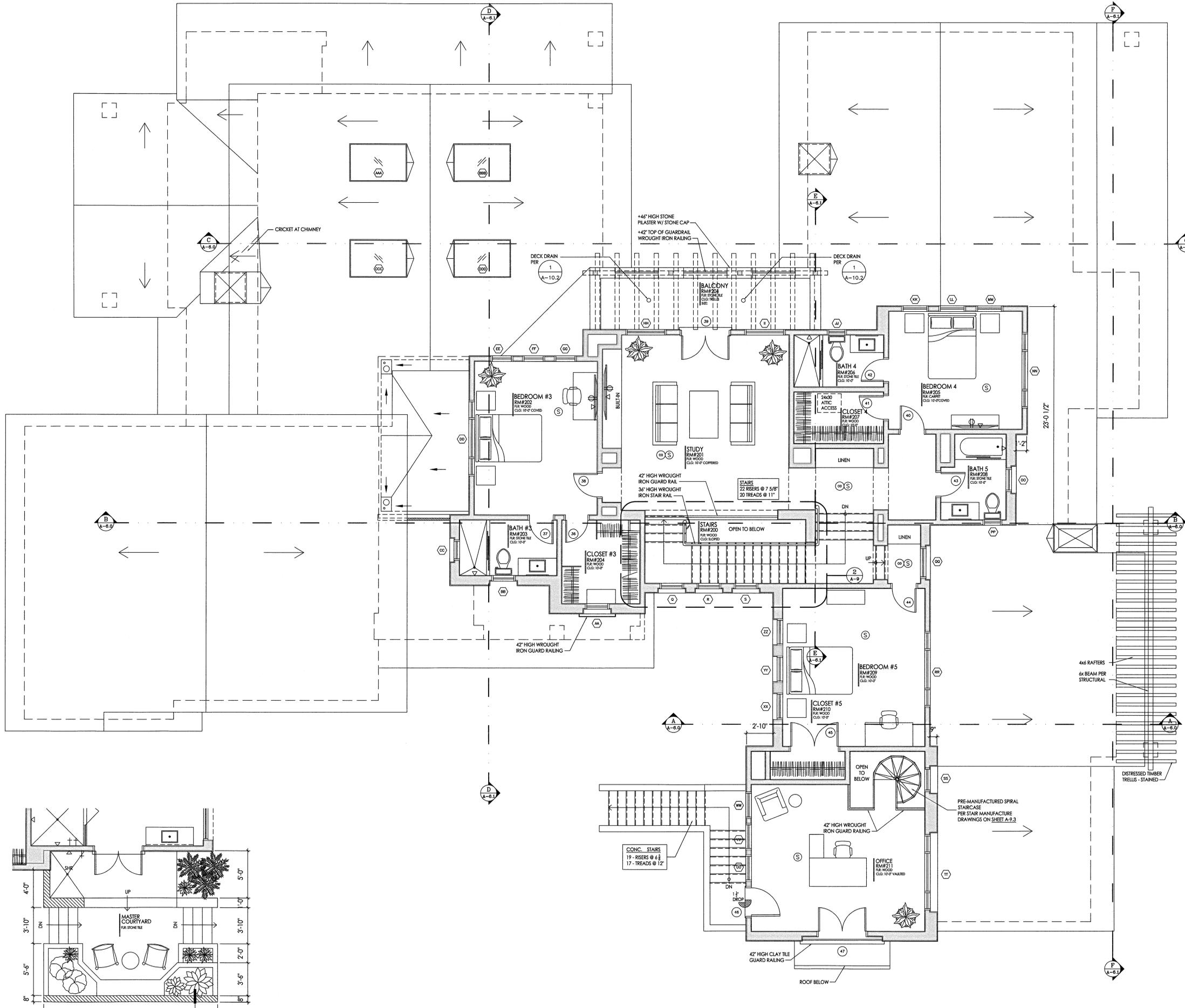
PROJECT

DATE: JUL 17 2021  
 COUNTY OF SAN DIEGO  
 Plan Check

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9-20-20	RSF	RE-SUBMITTAL	
9-20-20	COUNTY	SUBMITTAL	
4-10-21	COUNTY	SUBMITTAL	

DRAWN BY: PROJECT NO.  
 CHECKED BY: DATE: 3-Jan-19  
 DRAWING NO.

**A-2.0**  
 DRAWING TITLE: PROPOSED FIRST FLOOR PLAN

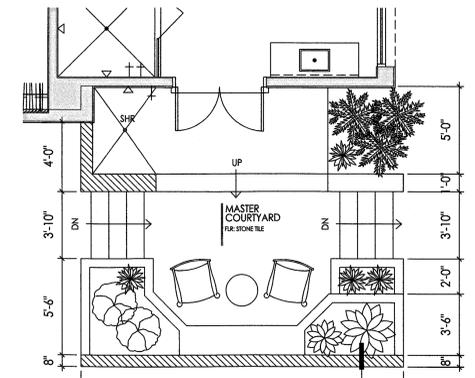


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- ### WALL LEGEND
- New 2 x 4 Interior wall - 5/8" Gyp. each side
  - New 2 x 4 (flat stud) Interior wall - 5/8" Gyp. one side
  - New 2 x 6 Interior wall - 5/8" Gyp. each side
  - New 2 x 4 Interior wall - Pocket door wall - 5/8" Gyp. each side
  - New 2 x 4 Exterior wall - 5/8" Gyp. stud, sheathing, stucco
  - New 2 x 4 Exterior wall - stucco, sheathing, stud, sheathing, stucco
  - New 2 x 6 Exterior wall - 5/8" Gyp. stud, sheathing, stucco
  - New 2 x 6 Exterior wall w/ stone veneer - 5/8" Gyp. stud, sheathing, 4" stone veneer
  - New 8" Masonry Wall - stucco, masonry, stucco



**MASTER COURTYARD PLAN**  
SCALE 1/4" = 1'-0"

**PROPOSED SECOND FLOOR PLAN**  
SCALE 1/4" = 1'-0"  
2,219 S.F.  
BALCONY - 158 S.F.

**RESIDENTIAL DESIGN STUDIO**  
6985 WEST BERNARDO DRIVE, SUITE 290  
SANTA FE, NM 87507

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**GOLD RESIDENCE**  
16580 LAS CUESTAS  
RANCHO SANTA FE, CA 92067

PROJECT: JUL 28 2020  
County of Santa Fe  
Plan Check

OWNER: MR. ALEX GOLD  
16580 LAS CUESTAS  
RANCHO SANTA FE, CA 92067

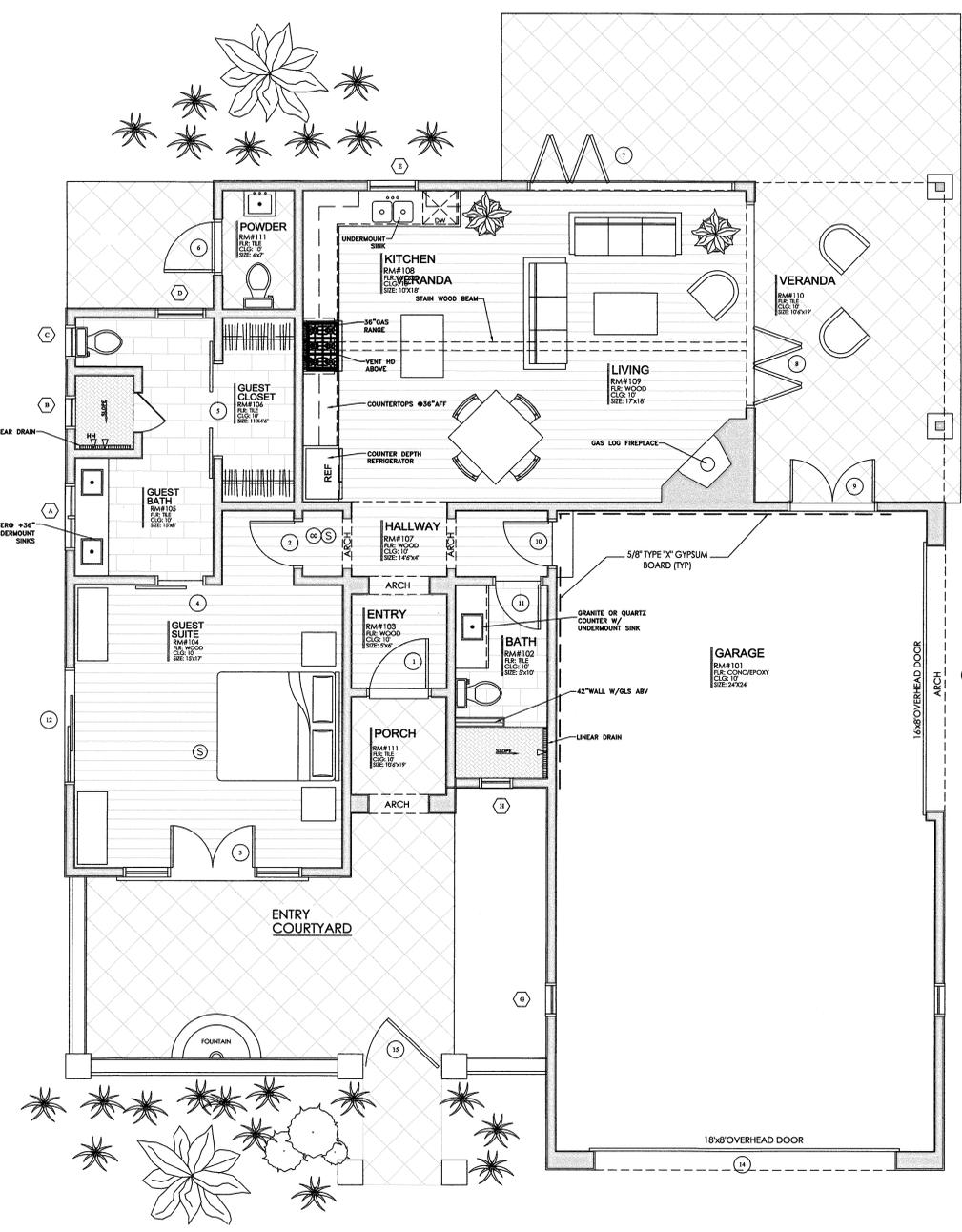
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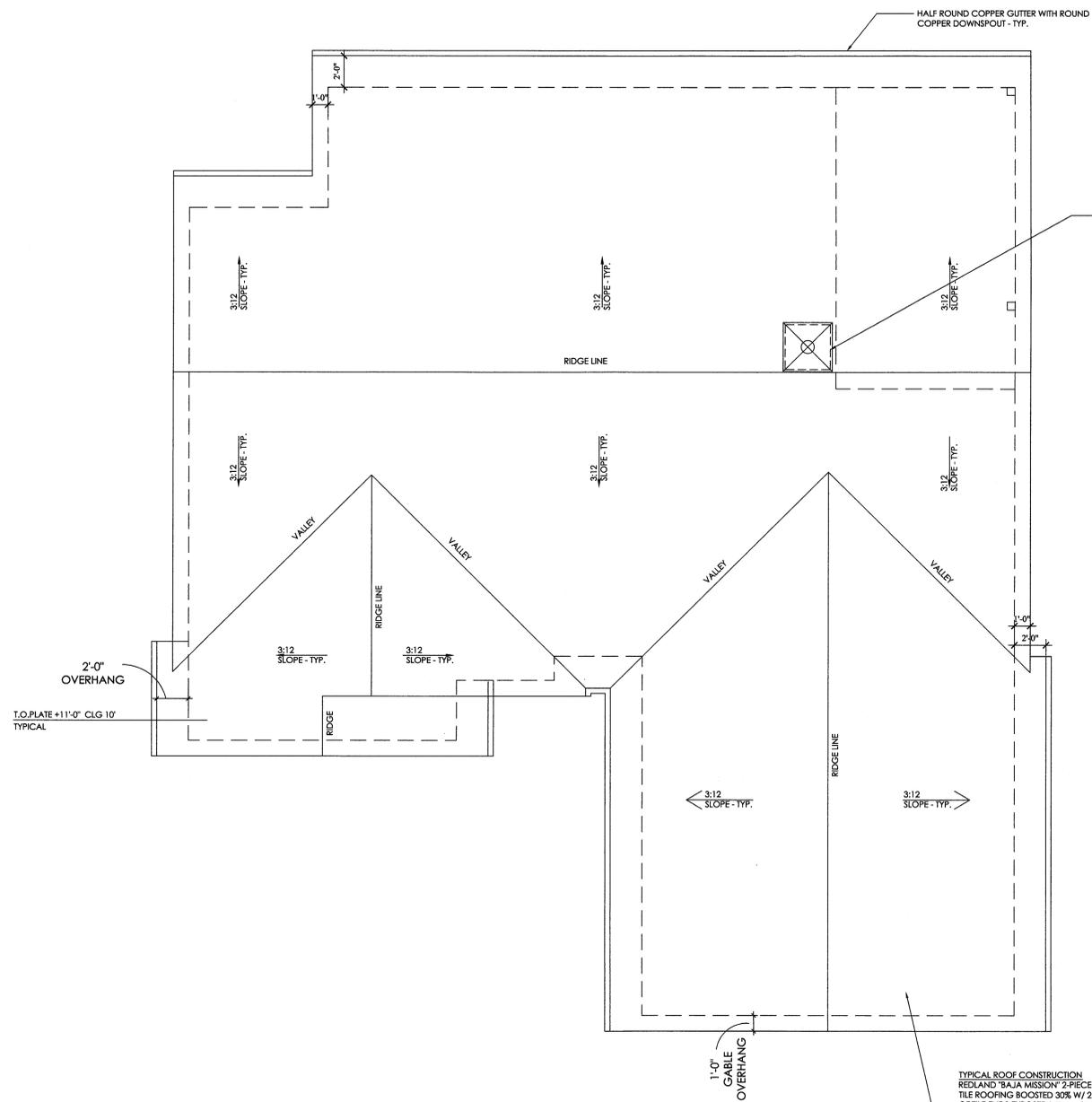
**A-2.1**  
DRAWING TITLE: PROPOSED SECOND FLOOR PLAN

**ATTIC VENTILATION FIRE PROTECTION**  
 USE: FOR DOMERS USE "BRANDGAURD VENTS MODEL #DV2001 & DV2031"  
 FOR GABLES USE "BRANDGAURD VENTS MODEL # GV2041-PC"  
 (EMBER RESISTANT "ER" APPROVED MODELS ONLY)

**GUTTER REQUIREMENTS**  
 COPPER GUTTERS WILL HAVE NON-COMBUSTIBLE GUTTER SCREENS



**PROPOSED FLOOR PLAN**  
 SCALE 1/4" = 1'-0"



**ROOF PLAN**  
 SCALE: 1/4" = 1'-0"

**TYPICAL ROOF CONSTRUCTION**  
 REDLAND "SALA MISSION" 2-PIECE CLAY TILE ROOFING BOOSTED 2" W/ 2 LAYERS OF TILE ENDS EXPOSED WITH MORTAR BIRDSTOP OVER 2 LAYERS OF 40# FELT HOT MORTAR BETWEEN LAYERS AND ON TOP OVER 5/8" CDX PLYWOOD (ICC-ESR#1489) - CLASS 'A' FIRE RATED ASSEMBLY - TYP.

**WALL LEGEND**

- New 2x4 interior wall - Gyp. each side
- New 2x4 (flat stud) interior wall - Gyp. one side
- New 2x6 interior wall - Gyp. each side
- New 2x4 interior wall - Pocket door wall - Gyp. each side
- New 2x4 exterior wall - Gyp, stud, sheathing, stucco
- New 2x4 exterior wall - stucco, sheathing, stud, sheathing, stucco
- New 2x6 exterior wall - Gyp, stud, sheathing, stucco
- New 2x6 exterior wall w/ stone veneer - Gyp, stud, sheathing, stone veneer
- New 8" Masonry Wall - stucco, masonry, stucco

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**GOLD RESIDENCE**  
 16580 LAS CUESTAS  
 RANCHO SANTA FE, CA 92067

OWNER  
 MR. ALEX GOLD  
 16580 LAS CUESTAS  
 RANCHO SANTA FE, CA 92067

NO.	DATE	REVISION COMMENTS
4-25-19	RSF	SUBMITTAL
7-3-19	RSF	RE-SUBMITTAL
1-16-20	RSF	RE-SUBMITTAL
9-20-20	RSF	RE-SUBMITTAL
9-20-20	COUNTY	SUBMITTAL
4-10-21	COUNTY	SUBMITTAL

DRAWN BY: PROJECT NO.  
 CHECKED BY: DATE 3-Jan-19  
 DRAWING NO.

**A-2.2**  
 DRAWING TITLE  
 ADU PLAN  
 FLOOR / ROOF